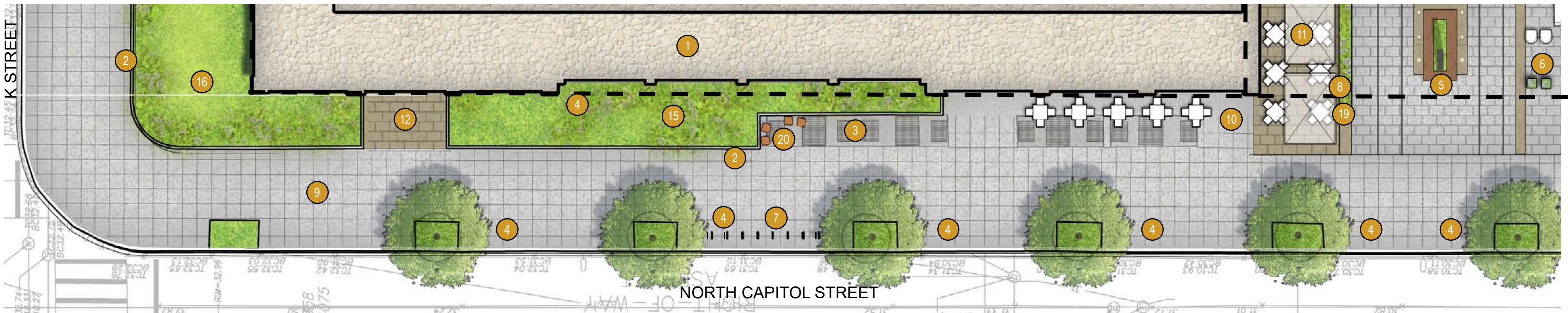




Legend

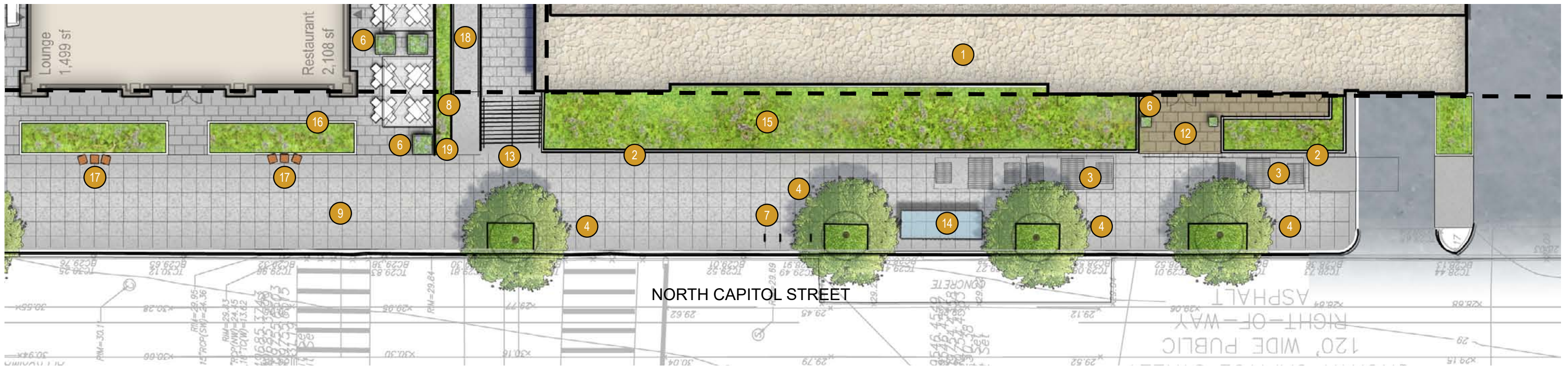
- 1 BUILDING ADDITION
- 2 PROPOSED PRECAST CURB
- 3 EXISTING STAIR
- 4 EXISTING STREET TREES
- 5 PROPOSED ADA RAMP
- 6 PROPOSED POTS
- 7 EXISTING BRICK PLANTER
- 8 PROPOSED PAVERS
- 9 EXISTING SIDEWALK
- 10 EXISTING BIKE RACK
- 11 CAPITOL BIKESHARE LOCATION

Design of streetscape, hardscaping and landscaping is subject to modifications resulting from DC agency or utility reviews or construction drawing refinement.



Legend

- | | | | | | | | | | | | |
|---|-----------------------|---|-----------------------|----|------------------------|----|---------------------------------------|----|-------------------------------|----|-------------------------|
| 1 | BUILDING ADDITION | 4 | EXISTING STREET TREES | 8 | PROPOSED METAL PLANTER | 12 | PROPOSED PAVERS | 16 | EXISTING PLANTING | 20 | EXISTING PUBLIC SEATING |
| 2 | PROPOSED PRECAST CURB | 5 | PROPOSED PYLON | 9 | EXISTING SIDEWALK | 13 | EXISTING STAIR | 17 | PROPOSED PUBLIC SEATING | | |
| 3 | ELECTRICAL VAULT LID | 6 | PROPOSED POTS | 10 | RETAIL SIDEWALK | 14 | EXISTING BUS SHELTER | 18 | PROPOSED ADA RAMP | | |
| | | 7 | EXISTING BIKE RACK | 11 | PROPOSED CAFE TERRACE | 15 | NEW PLANTING IN EXISTING PLANTING BED | 19 | 1ST STREET CONNECTION SIGNAGE | | |



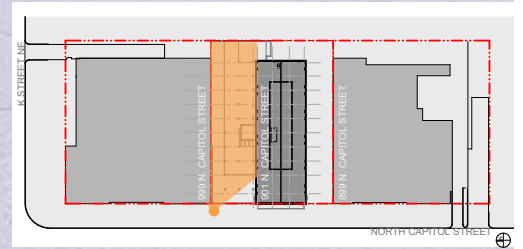
Design of streetscape, hardscaping and landscaping is subject to modifications resulting from DC agency or utility reviews or construction drawing refinement.



901 NORTH CAPITOL STREET NE (UNION SQUARE PHASE 2) ZONING COMMISSION SUBMISSION : AUGUST 24, 2021

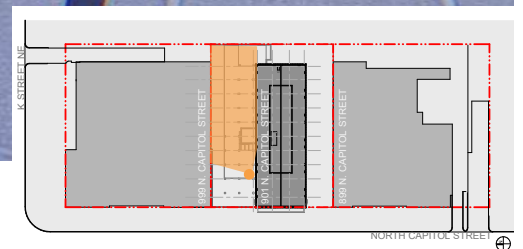
NORTH PLAZA VIEW ONE : L10

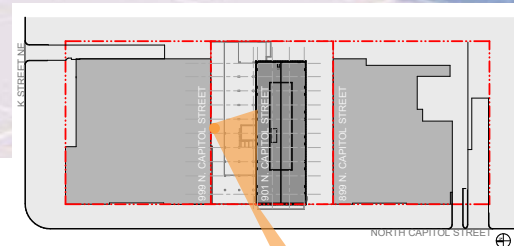




901 NORTH CAPITOL STREET NE (UNION SQUARE PHASE 2) ZONING COMMISSION SUBMISSION : AUGUST 24, 2021

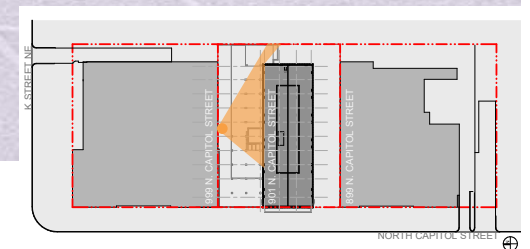
NORTH PLAZA VIEW TWO : L11

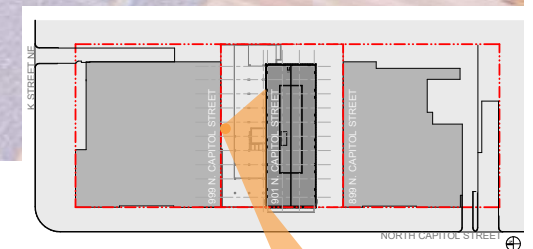




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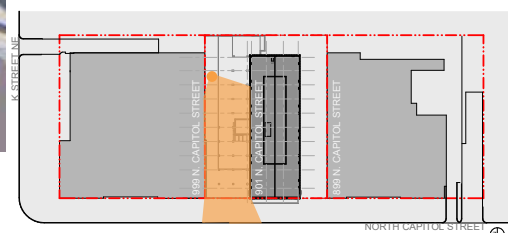
NORTH PLAZA VIEW FOUR : L13

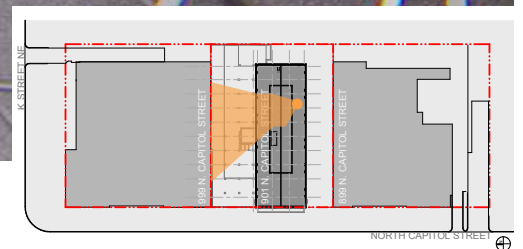


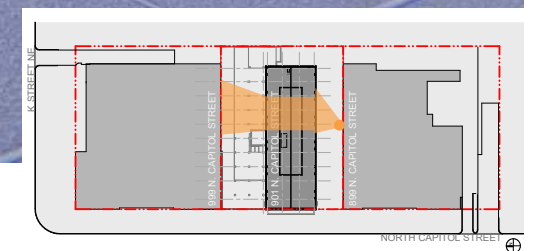


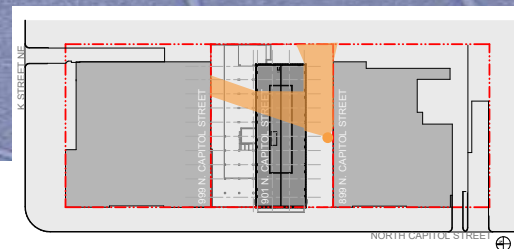
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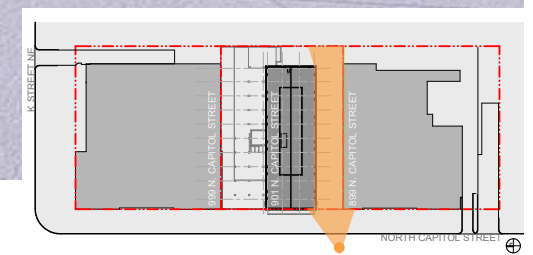
NORTH PLAZA VIEW SIX : L15









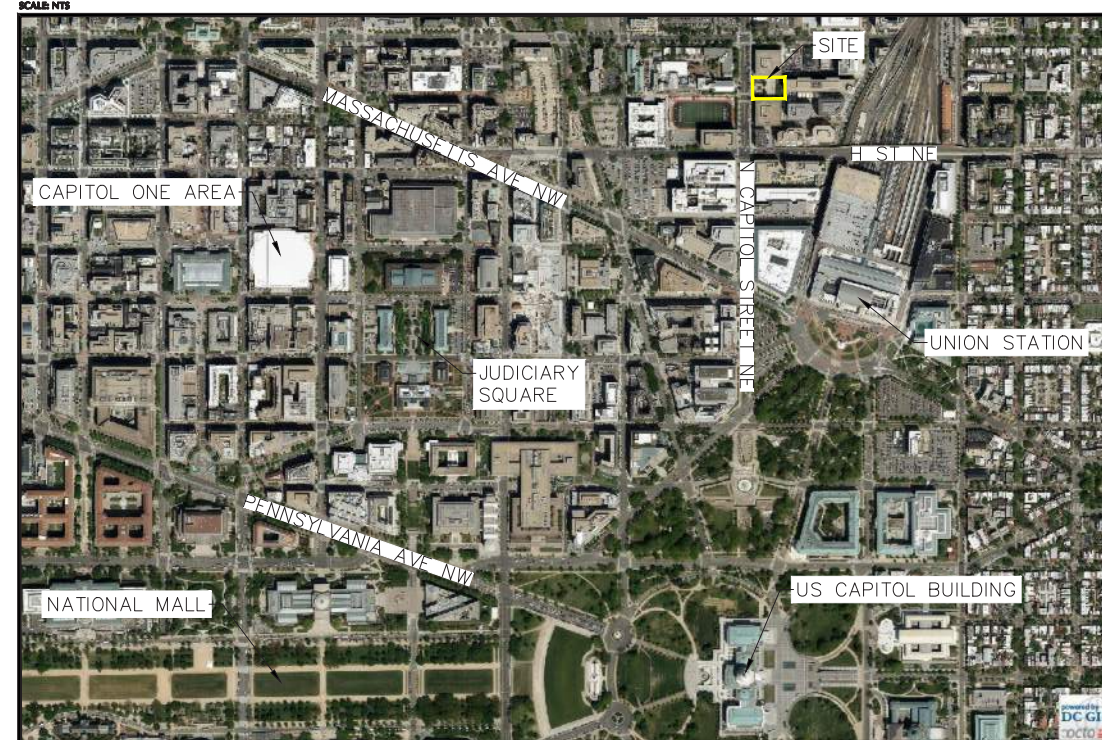


901 NORTH CAPITOL STREET NE (UNION SQUARE PHASE 2) ZONING COMMISSION SUBMISSION : AUGUST 24, 2021

SOUTH PLAZA VIEW TWO : L20

UNION SQUARE WASHINGTON, DC 901 NORTH CAPITOL STREET NE WASHINGTON, DC 20002

LOCATION MAP



SOURCE: DC GIS

SHEET LIST

SHEET NUMBER	SHEET TITLE
CS001	COVER SHEET
VT101	EXISTING CONDITIONS PLAN
CD101	DEMOLITION PLAN
CE101	EROSION & SEDIMENT CONTROL PLAN
CS101	SITE & GRADING PLAN
CU101	UTILITY PLAN

PROJECT TEAM

DEVELOPER/OWNER:
 NETWORK REALTY PARTNERS
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 CONTACT: SAM HOLLMAN
 EMAIL: SHOLLMAN@NRPDC.COM

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LANDSCAPE ARCHITECT:
 PARKER RODRIGUEZ INC.
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CIVIL ENGINEER:
 LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC.
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 ARLINGTON, VA 22209
 PHONE: 571-366-6816
 CONTACT: JOHN RUTTER & RYAN LINTHICUM
 EMAIL: JRUTTER@LANGAN.COM

PROJECT NARRATIVE

THIS PROJECT WILL BE FOR THE DEMOLITION OF THE UNION SQUARE PLAZA LOCATED AT 901 NORTH CAPITOL STREET AND CONSTRUCTION OF A NEW HOTEL.

A PORTION OF THE SITE WORK WILL BE CONSIDERED STRUCTURAL RENOVATIONS AS THEY WILL BE ON TOP OF THE EXISTING GARAGES WHICH EXTEND BEYOND THE AT-GRADE BUILDING FOOTPRINT.

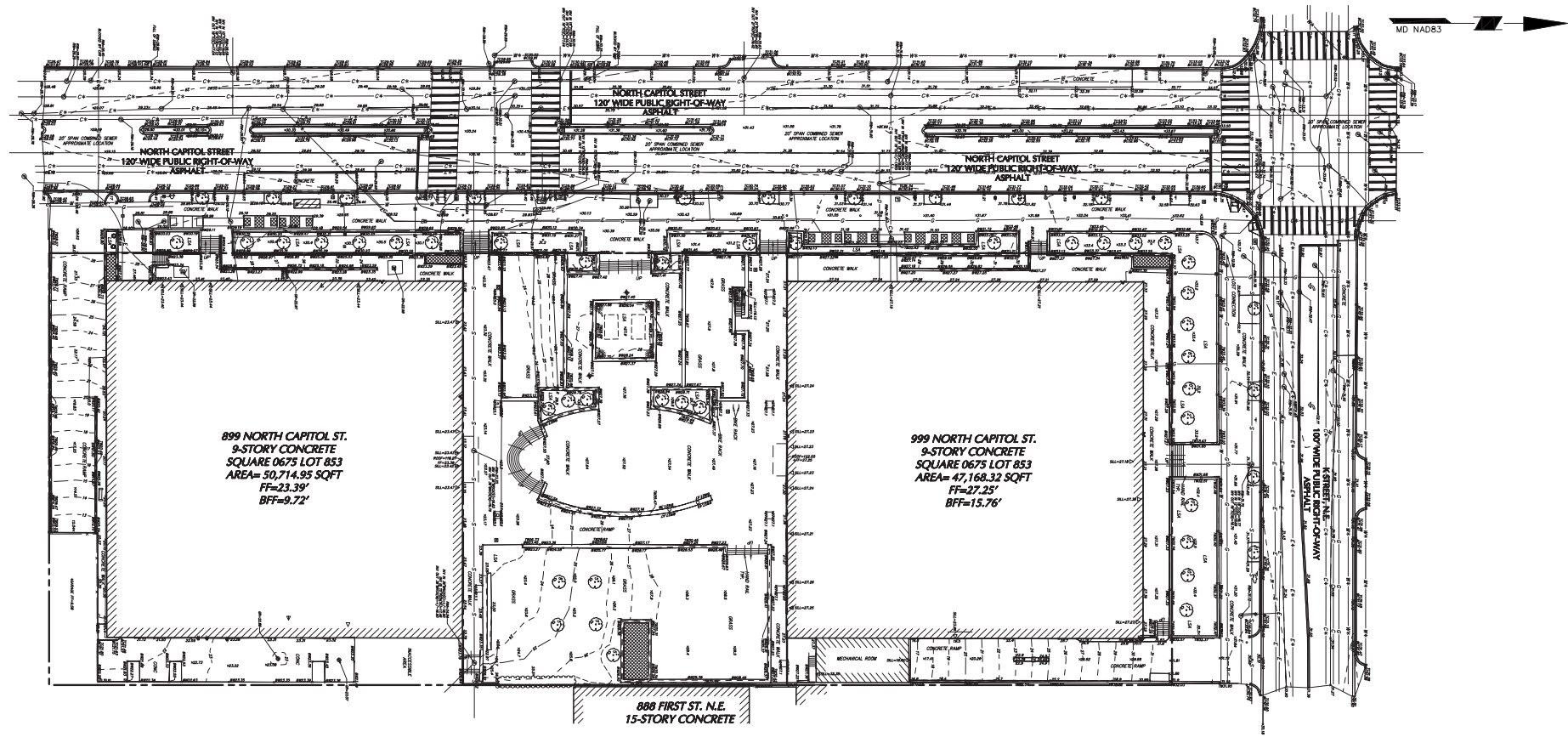
STORMWATER MANAGEMENT WILL BE REQUIRED FOR THIS PROJECT. GREEN ROOF AREAS WILL BE DESIGNED FOR THE NORTH AREA ABOVE THE EXISTING GARAGES.

UTILITY WORK INCLUDES PROPOSED DOMESTIC AND FIREWATER SERVICE LINES, AS WELL AS AN EXTENSION OF THE 8" MAIN RUNNING ALONG NORTH CAPITOL STREET NORTHEAST. A SANITARY LATERAL CONNECTION THE EXISTING SEWER MAIN ON SITE WILL BE REQUIRED, AS WILL A STORM CONNECTION.

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COVER SHEET : CS001

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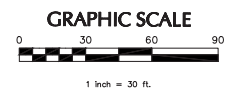
LEGEND (NOT SHOWN TO SCALE)

●	BOLLARD
△	DOOR
△	DOUBLE DOOR
○	FLAG POLE
⊕	MONITORING WELL
∇	VENT
∩	SIGN
○	SHRUB
○	TREE
☀	CATCH BASIN
⊠	ELECTRIC BOX
⊠	FIRE HYDRANT
⊠	GAS METER
⊠	GAS VALVE
⊠	LIGHT POLE
⊠	MANHOLE (TYPE AS LABELED)
⊠	STANDPIPE
⊠	PAY TO PARK BOOTH
⊠	TRAFFIC SIGNAL
⊠	TRASH CAN
⊠	WATER VALVE
⊠	BENCH
X 262.3	SPOT ELEVATION
BC	BOTTOM OF CURB
CP	TOP OF CURB
CC	CONCRETE PAD
LSA	LANDSCAPED AREA
BOH	BUILDING OVERHANG
BW	BOTTOM OF WALL
TW	TOP OF WALL
—○—○—	STOCKADE FENCE
—○—○—	CHAINLINK FENCE
—○—○—	SHRUB LINE
—○—○—	EASEMENT LINE
—○—○—	PROPERTY LINE
—○—○—	RIGHT-OF-WAY LINE

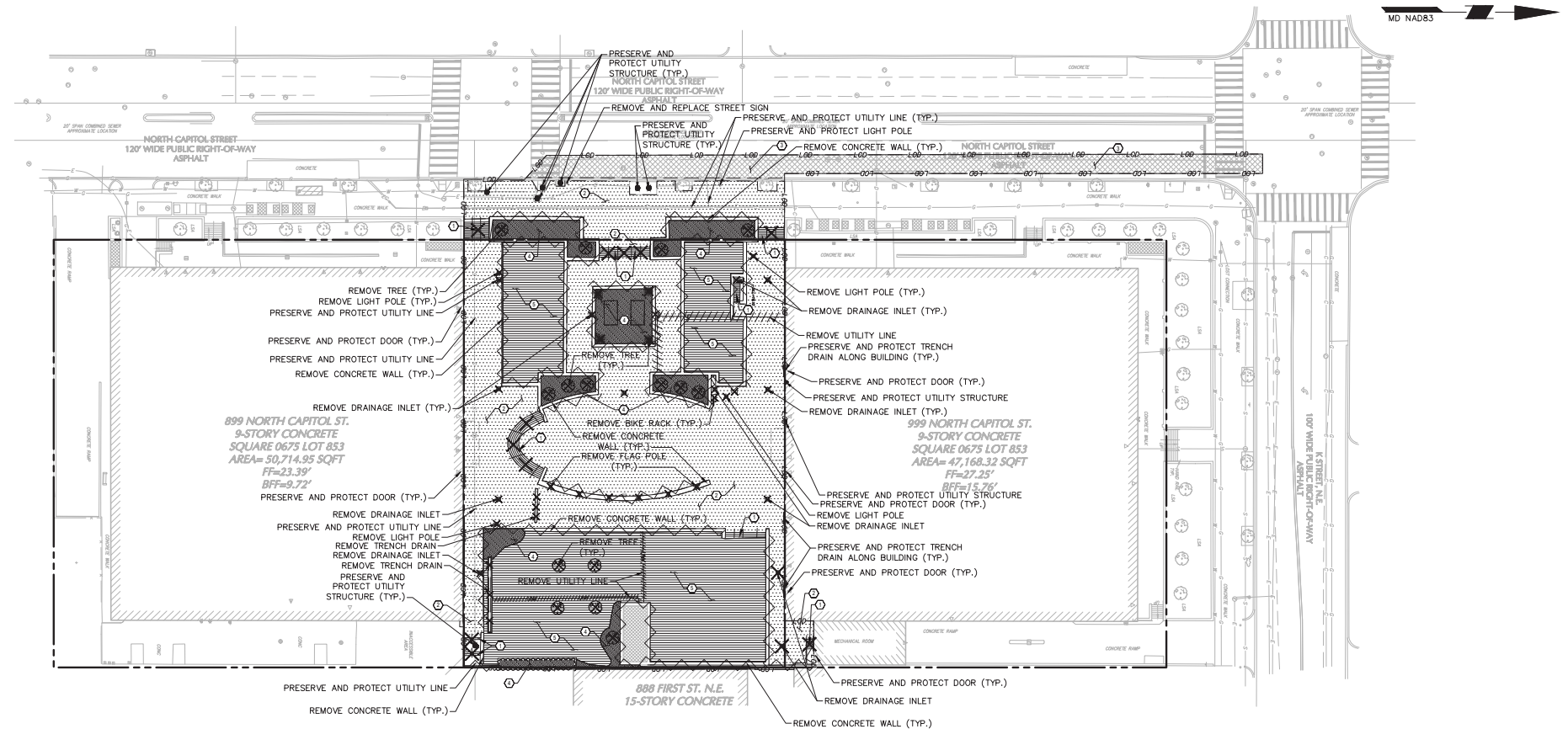
LEGEND (NOT SHOWN TO SCALE)

---	CONTOUR LINE
---	DRAINAGE MARK OUT LINE
---	ELECTRIC MARK OUT LINE
---	COMMUNICATION MARK OUT LINE
---	GAS MARK OUT LINE
---	SANITARY SEWER MARK OUT LINE
---	WATER MARK OUT LINE
---	UNKNOWN MARK OUT LINE
---	REFERENCE UTILITY LINE (TYPE AS NOTED) - PLOTTED FROM EXISTING MAPPING
---	VAULT

- NOTES**
- THIS SURVEY IS BASED UPON EXISTING PHYSICAL CONDITIONS FOUND AT THE SUBJECT SITE, AND THE FOLLOWING REFERENCES:
 - A REGISTERED PLAT DOCUMENT ENTITLED "PLAT OF SURVEY OF LOT 854 TO MARK STREET LINE AND OFFSETS, SHOW ACTUAL ANGLES AND MEASUREMENTS BY MLLDEC, DATED 6/01/2020".
 - A COUNTER MAP FROM DC WATER AND SEWER AUTHORITY ENTITLED "WV A-4 SEWER".
 - PLAN ENTITLED "ALTA, NPS'S LAND TILE SURVEY" BY COS DATED 04-01-19.
 - THE MERIDIAN OF THIS SURVEY IS BASED ON THE MARYLAND NORTH AMERICAN DATUM OF 1983 (NAD83).
 - ELEVATIONS SHOWN ARE REFERENCED TO THE NORTH AMERICAN VERTICAL DATUM (NAVD-88)
 - THIS IS NOT A BOUNDARY SURVEY, BOUNDARY LINES WERE REFERENCED FROM AVAILABLE PLATS FROM THE OFFICE OF THE SURVEYOR OF THE DISTRICT OF COLUMBIA, SEE NOTE 1.A.
 - PLANIMETRIC INFORMATION SHOWN HEREON HAS BEEN OBTAINED FROM GROUND SURVEYS BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC. DURING JUNE, 2020.
 - WETLANDS, ENVIRONMENTAL AND/OR HAZARDOUS MATERIALS LOCATION, IF ANY, NOT COVERED UNDER THIS CONTRACT.
 - UNLESS SPECIFICALLY NOTED HEREON, STORM AND SANITARY SEWER INFORMATION (INCLUDING PIPE INVERT, PIPE MATERIAL, AND PIPE SIZE) WAS OBSERVED AND MEASURED AT FIELD LOCATED STRUCTURES (MANHOLES/CATCH BASINS, ETC.). CONDITIONS CAN VARY FROM THOSE ENCOUNTERED AT THE TIMES WHEN AND THE LOCATIONS WHERE DATA WAS OBTAINED. DESPITE MEETING THE REQUIRED STANDARD OF CARE THE SURVEYOR CANNOT AND DOES NOT WARRANT THAT PIPE MATERIAL AND/OR PIPE SIZE THROUGHOUT THE PIPE RUN ARE THE SAME AS THOSE OBSERVED AT EACH STRUCTURE, OR THAT THE PIPE RUN IS STRAIGHT BETWEEN THE LOCATED STRUCTURES. ADDITIONAL UTILITY (WATER, GAS, ELECTRIC, ETC.) DATA MAY BE SHOWN FROM FIELD LOCATED SURFACE MARKINGS (SOFTING, INC.), EXISTING STRUCTURES, AND/OR FROM EXISTING DRAWINGS, UNLESS SPECIFICALLY NOTED HEREON THE SURVEYOR HAS NOT EXCAVATED TO PHYSICALLY LOCATE THE UNDERGROUND UTILITIES. THE SURVEYOR MAKES NO GUARANTEE THAT THE SHOWN UNDERGROUND UTILITIES ARE EITHER IN SERVICE, ABANDONED OR SUITABLE FOR USE, NOR ARE IN THE EXACT LOCATION OR CONFIGURATION INDICATED HEREON.
 - PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED FOR VERIFICATION OF UTILITY TYPE AND FOR FIELD LOCATIONS.



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DEMOLITION PLAN LEGEND

- 0.00 — LIMIT OF DISTURBANCE
- ▨ SAW CUT EXISTING CONCRETE PAVEMENT
- ▨ SAW CUT EXISTING ASPHALT PAVEMENT
- ▨ REMOVE GRASS AREA
- ▨ REMOVE LANDSCAPED AREA
- ✕ REMOVE SITE ELEMENT (SEE KEYNOTES)
- ▨ REMOVE CONCRETE WALL
- PRESERVE UTILITY STRUCTURE

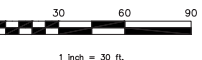
DEMOLITION PLAN KEYNOTES

- SAW CUT STRAIGHT AND NEAT THEN REMOVE EXISTING CONCRETE STAIRS AND REMOVE METAL GUARDRAILS. REMOVE AND DISPOSE OF IN ACCORDANCE TO LOCAL AND FEDERAL REGULATIONS.
- SAW CUT STRAIGHT AND NEAT THEN REMOVE EXISTING CONCRETE PAVEMENT. REMOVE AND DISPOSE OF IN ACCORDANCE TO LOCAL AND FEDERAL REGULATIONS.
- SAW CUT STRAIGHT AND NEAT THEN REMOVE EXISTING ASPHALT PAVEMENT. REMOVE AND DISPOSE OF IN ACCORDANCE TO LOCAL AND FEDERAL REGULATIONS.
- REMOVE VEGETATION AND LANDSCAPED AREA
- REMOVE GRASS AREA

DEMOLITION PLAN GENERAL NOTES

1. SEE SHEET C002 FOR GENERAL REQUIREMENTS.
2. THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON FIELD MEASUREMENTS AND VARIOUS RECORDS.
3. THE CONTRACTOR SHALL INSPECT THE SITE THOROUGHLY AND FIELD-VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES. CONTRACTORS USING THESE PLANS FOR DEMOLITION OR CONSTRUCTION SHALL CONFIRM ALL UTILITIES IN THE FIELD TO ESTABLISH LOCATIONS, SIZES, MATERIALS AND ELEVATIONS.
4. THE CONTRACTOR SHALL CONSTRUCT ALL TEMPORARY FACILITIES AND SERVICES NECESSARY TO SATISFY DC REQUIREMENTS AND DEPARTMENTS, INCLUDING BUT NOT LIMITED TO, PAVEMENT REPAIR, FENCING, PEDESTRIAN AND VEHICLE ACCESS, ETC.
5. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY AND PROTECTIVE MEASURES, INCLUDING BUT NOT LIMITED TO SIGNS, LIGHTS, FENCES, BARRIERS, AND PEDESTRIAN AND TRAFFIC CONTROL MEASURES DURING DEMOLITION.
6. THE CONTRACTOR SHALL REMOVE AND PROPERLY BACKFILL ALL UNDERGROUND UTILITIES AND STORM DRAINS INDICATED TO BE DEMOLISHED ON THE PLAN. THE CONTRACTOR SHALL VERIFY THE UTILITY OR STORM DRAIN TO BE DEMOLISHED IS NO LONGER IN USE PRIOR TO DEMOLITION.
7. EXISTING FOUNDATIONS AND FOOTINGS ASSOCIATED WITH STRUCTURES AND SITE ELEMENTS TO BE DEMOLISHED, SUCH AS BUILDINGS, GATES AND FENCING, SHALL BE COMPLETELY REMOVED.
8. RECYCLED CONCRETE OR ASPHALT MAY NOT BE USED FOR FILL.
9. REMOVED UTILITIES, PIPES, SIDEWALKS, CURBS, AND ALL OTHER DEMOLITION DEBRIS THAT ARE TO BE REMOVED (NOT RELOCATED) SHALL BE DISPOSED OF OFF SITE IN ACCORDANCE WITH LOCAL REGULATIONS.
10. LIMITS OF DISTURBANCE AREAS SHOWN ABOVE ARE APPROXIMATE AND MAY INCREASE OR DECREASE PENDING ON THE CONTRACTOR'S MEANS AND METHODS OR SITE CONDITIONS.

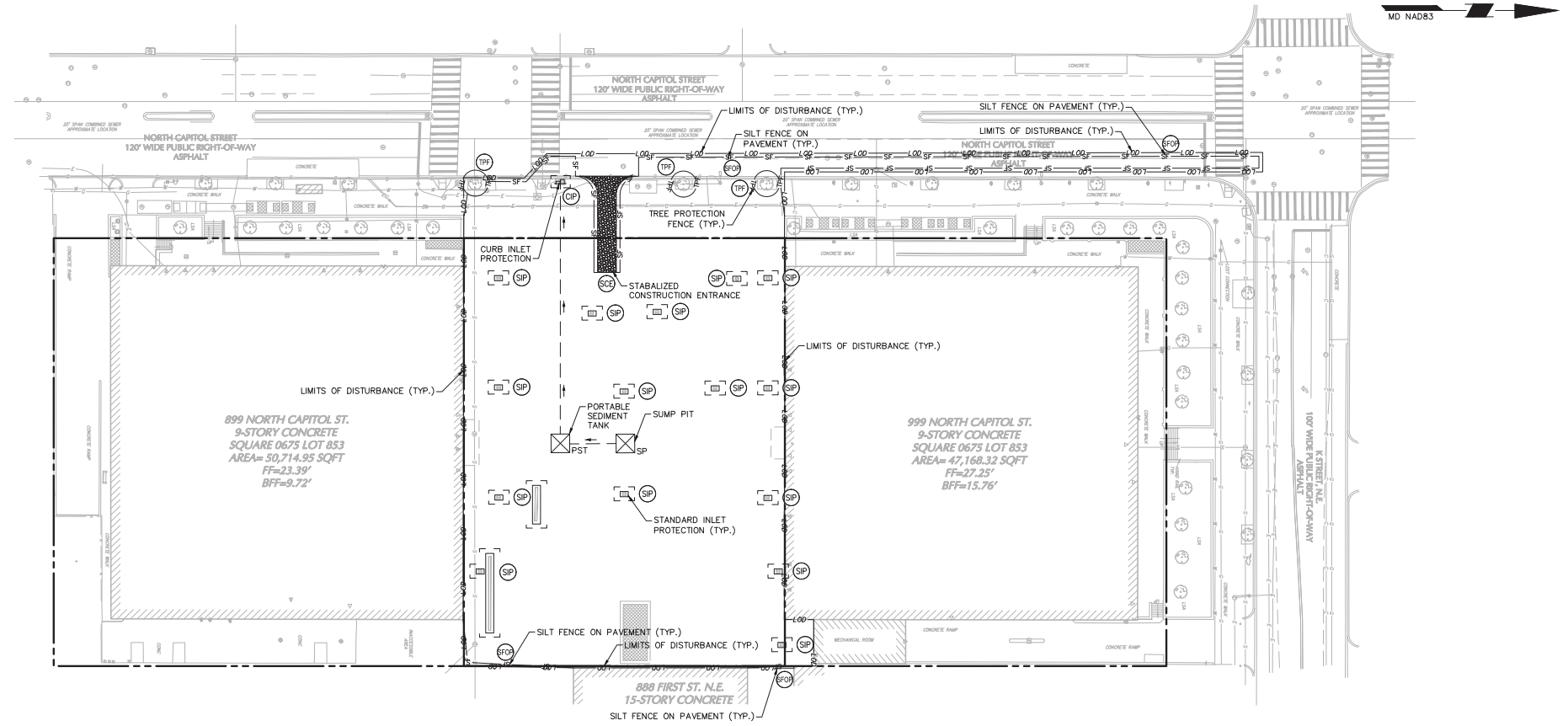
GRAPHIC SCALE



LANGAN

DEMOLITION PLAN : CD101

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EROSION & SEDIMENT CONTROL LEGEND

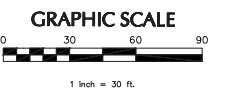
- L.O.D. — LIMITS OF DISTURBANCE
- SF — SILTS FENCE ON PAVEMENT
- [IP] INLET PROTECTION
- [PST] PORTABLE SEDIMENT TANK
- [SP] SUMP PIT
- [TPF] TREE PROTECTION FENCE
- [CE] CONSTRUCTION ENTRANCE

EROSION & SEDIMENT CONTROL GENERAL NOTES

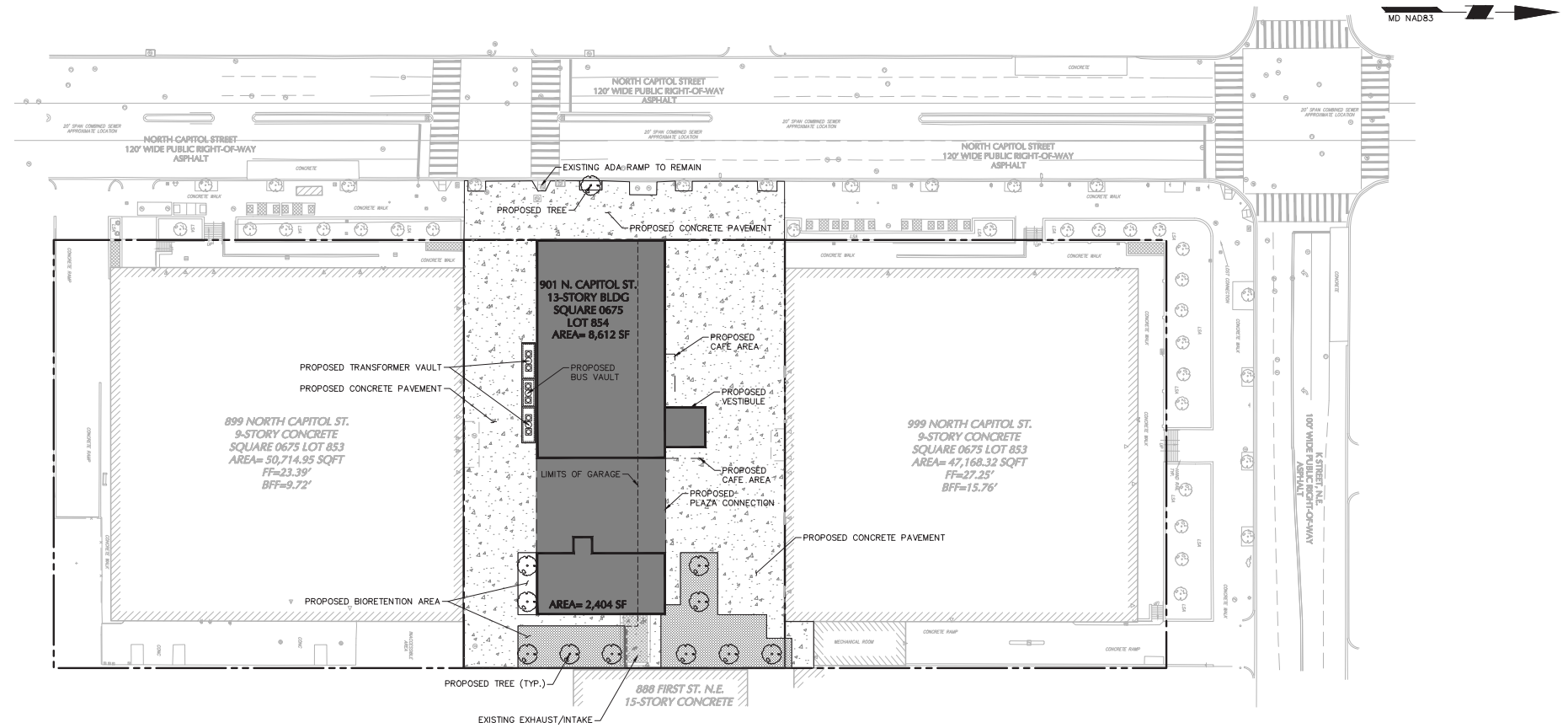
1. SEE C-02 FOR DOEE GENERAL NOTES AND STORMWATER MANAGEMENT PLAN GOOD HOUSEKEEPING NOTES.
2. CONTACT THE DOEE INSPECTOR PRIOR TO BEGINNING WORK.
3. ONCE ON-SITE EXCAVATION BEGINS, INSTALL MEASURES TO TREAT STORMWATER COLLECTED IN THE EXCAVATION.
4. ONCE UTILITY EXCAVATION IN THE STREET BEGINS, DISTURBANCE TO BE STABILIZED AT THE END OF EACH WORKING DAY.
5. MAINTAIN EROSION AND SEDIMENT CONTROL MEASURES IN WORKING CONDITION THROUGHOUT CONSTRUCTION.
6. ALL CONSTRUCTION TO BE INSPECTED DAILY BY THE CONTRACTOR. DAMAGED EROSION AND SEDIMENT CONTROL MEASURES SHALL BE REPAIRED AT THE CLOSE OF THE DAY.
7. INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AS DETERMINED BY THE DOEE INSPECTOR DURING CONSTRUCTION AS REQUIRED BY SITE CONDITIONS.
8. NO DISTURBED AREA WILL BE DENuded FOR MORE THAN 7 CALENDAR DAYS. INSTALL THE NECESSARY TEMPORARY OR PERMANENT VEGETATIVE STABILIZATION MEASURES TO ACHIEVE ADEQUATE EROSION AND SEDIMENT CONTROL.
9. REMOVE EROSION AND SEDIMENT CONTROL MEASURES AFTER THEIR CONTRIBUTING DRAINAGE AREAS HAVE BEEN PERMANENTLY STABILIZED AND APPROVAL BY THE DOEE INSPECTOR HAS BEEN OBTAINED.
10. TEMPORARY DISCHARGE PERMIT FROM DC WATER WILL BE OBTAINED.

LIMITS OF DISTURBANCE (L.O.D.) TABULATION

- 901 NORTH CAPITOL MAJOR LAND DISTURBANCE = 2,626 SF BUILDING RENOVATION = 4,110 SF
- PUBLIC RIGHT-OF-WAY MAJOR LAND DISTURBANCE = 9,975 SF



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SITE & GRADING LEGEND

- BUILDING
- — BUILDING BASEMENT EXTENTS
- BUILDING OVERHANG
- - - CAFE AREA
- ▨ BIORETENTION AREA
- ▨ CONCRETE PAVEMENT
- ⊠ BUS VAULT
- ⊠ TRANSFORMER VAULT
- ⊙ TREE

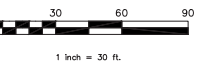
SITE PLAN GENERAL NOTES

1. CONTRACTOR TO ENSURE ALL ITEMS REMOVED OR REPLACED TO BE KEPT AT EXISTING GRADE.
2. THE UTILITY LINES ARE SHOWN ON THIS PLAN FOR INFORMATIONAL PURPOSES. SURFACE FEATURES SUCH AS ACCESS MANHOLES HAVE BEEN PHYSICALLY LOCATED IN THE FIELD. HORIZONTAL ALIGNMENTS BETWEEN SURFACE FEATURES ARE REPRESENTED BASED ON EXISTING NAVFAC AND OTHER RECORD DRAWINGS. NO TEST HOLES/PITS WERE CONDUCTED TO PHYSICALLY LOCATE THE BELOW GRADE CONCEALED. NOTE THAT OTHER UTILITIES ON THE SITE ARE NOT SHOWN. REFER TO THE EXISTING CONDITIONS PLAN FOR ADDITIONAL ON-SITE UTILITY UNDERGROUND LOCATIONS.
3. ALL ELEVATIONS SHOWN ARE IN DATUM NAVD 88.
4. CONSTRUCTION INFORMATION AND REQUIREMENTS ARE LOCATED IN NUMEROUS PROJECT DOCUMENTS SUCH AS DRAWINGS, SPECIFICATIONS, DETAILS, NOTES, ORDINANCES, CODES, PERMITS, STANDARDS, GUIDELINES AND MANUFACTURER DOCUMENTS. MOST STRINGENT CRITERIA SHALL APPLY.
5. CONTRACTOR IS RESPONSIBLE FOR OBTAINING COPIES, UNDERSTANDING AND IMPLEMENTING THE REFERENCED PROJECT STANDARDS (I.E. ASTM, AWWA, ASSHOTO, ETC.), PROJECT PERMIT REQUIREMENTS, REGULATORY CODES AND REGULATIONS, AND MANUFACTURER GUIDELINES AND REQUIREMENTS.
6. UNDERGROUND UTILITIES AND INFRASTRUCTURE ARE LOCATED THROUGHOUT THE SITE AND MAY BE PRESENT IN AREAS OF PROPOSED WORK. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING AND LOCATING UNDERGROUND UTILITIES AND INFRASTRUCTURE PRIOR TO WORK. IF CONFLICTS WITH PROPOSED WORK ARE OBSERVED, CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY FOR REVIEW. CONTRACTOR SHALL USE EXTREME CARE WHEN WORKING ADJACENT TO EXISTING UNDERGROUND UTILITIES AND INFRASTRUCTURE, INCLUDING BUT NOT LIMITED TO THE USE OF HAND TOOLS AND SOFT DIG TECHNIQUES. DAMAGED UTILITIES AND INFRASTRUCTURE SHALL BE REPAIRED AT THE EXPENSE OF THE CONTRACTOR.

GRADING PLAN GENERAL NOTES

1. ALL GRADING, DRAINAGE, AND UTILITY INSTALLATION AND/OR CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS OR LOCAL REQUIREMENTS. SHOULD A DIFFERENCE IN REQUIREMENTS OCCUR, THE STRICTER OF THE TWO REGULATIONS WILL APPLY.
2. GRADE ALL AREAS OTHER THAN PAVED GRADED AREAS AND BUILDINGS, INCLUDING EXCAVATED AREAS, FILLED AND TRANSITION AREAS, AND LANDSCAPED AREAS TO FINISH GRADE ELEVATIONS OR CONTOURS AS INDICATED ON DRAWINGS. FINISHED SUBGRADE SURFACE SHALL BE UNIFORM AND SMOOTH, FREE FROM ROCK, DEBRIS, OR IRREGULAR SURFACE CHANGES. FINISHED SUBGRADE SURFACE SHALL NOT BE MORE THAN 0.10 FEET ABOVE OR BELOW ESTABLISHED FINISHED SUBGRADE ELEVATION, AND ALL GROUND SURFACES SHALL VARY UNIFORMLY BETWEEN INDICATED ELEVATIONS. DITCHES SHALL BE GRADED TO ALLOW FOR PROPER DRAINAGE WITHOUT PONDING AND IN A MANNER THAT WILL MINIMIZE EROSION POTENTIAL.
3. ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC LOADING AND BE INSTALLED ACCORDINGLY.
4. SITE GRADING SHALL NOT PROCEED UNTIL ALL EROSION CONTROL MEASURES HAVE BEEN INSTALLED.
5. CONTRACTOR SHALL REVIEW ALL DRAINAGE CONNECTIONS TO MANHOLES AND CATCH BASINS AND INCREASE THE INLET BOX SIZES AS NECESSARY TO ACCOMMODATE THE PROPOSED INLET AND OUTLET PIPES.
6. ALL GRADING IS TO PROMOTE POSITIVE DRAINAGE AWAY FROM THE BUILDING.
7. CURB ELEVATIONS INDICATED "BC" ARE BOTTOM OF CURB ELEVATIONS. CURB ELEVATIONS INDICATED AS "TC" ARE TOP OF CURB ELEVATIONS.
8. TOP OF WALL ELEVATIONS ARE APPROXIMATE. SEE STRUCTURAL DRAWINGS FOR DETAIL.

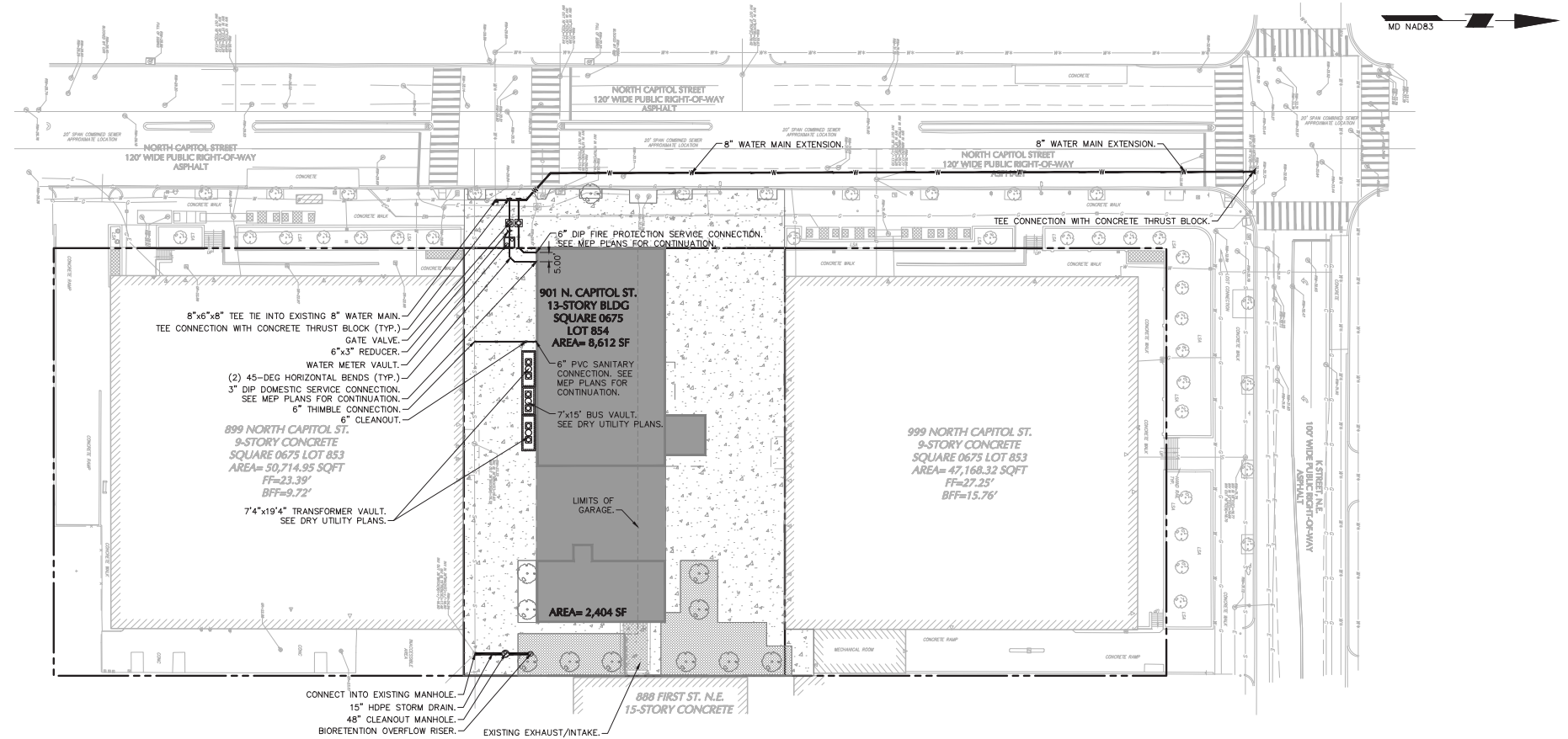
GRAPHIC SCALE



LANGAN

SITE & GRADING PLAN : CS101

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UTILITY PLAN LEGEND

- BUS VAULT
- TRANSFORMER VAULT
- WATER MAIN EXTENSION
- DOMESTIC WATER SERVICE
- FIRE WATER SERVICE
- SANITARY LATERAL
- STORM LATERAL
- CONCRETE THRUST BLOCK
- GATE VALVE
- REDUCER
- WATER METER
- CLEANOUT
- CLEANOUT MANHOLE
- OVERFLOW RISER

UTILITY PLAN GENERAL NOTES

1. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
2. CONTRACTOR SHALL REFER TO ARCHITECTURAL AND MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY BUILDING PENETRATIONS TO INCLUDE SANITARY SEWER LATERALS, AND ELECTRICAL SERVICES. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCIES AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
3. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. COORDINATE WITH DC WATER FOR ACCESS TO DC WATER STRUCTURES.
4. ALL SANITARY SEWER AND WATER LINE WORK SHALL BE IN ACCORDANCE WITH DC WATER REQUIREMENTS AND SPECIFICATIONS OF THE DISTRICT OF COLUMBIA.
5. CONTRACTOR TO PERFORM TEST PITS AT THE LOCATIONS OF ALL PROPOSED UTILITY CROSSINGS WITH THE EXISTING UTILITY INFRASTRUCTURE AND NOTIFY THE ENGINEER PRIOR TO COMPLETION.



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UTILITY PLAN : CU101

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